

KIKUCHI + KANKEL DESIGN GROUP

LANDSCAPE ARCHITECTURE
SITE PLANNING
ENVIRONMENTAL DESIGN





HISTORY

Founded in 1984

Kikuchi + Kankel Design Group was established in 1984. Located in Half Moon Bay and Los Gatos, California, a majority of Kikuchi + Kankel Design Group's work is within the immediate San Francisco Bay Area. The firm operates as a California corporation with Steven T. Kikuchi as senior principal and president and Chris Kankel as junior principal and vice president offering a combination of over 55 years of professional experience.

Excellence in Design

The firm has established its reputation in the San Francisco Bay Area based upon its excellence in design, commitment to project management and responsiveness to client needs. These characteristics are evident in the execution of a wide variety of projects, including parks and recreation planning, urban planning, commercial corporate design, technology R&D design, institutional and educational design, multi-family housing and residential estate design. The firm's range of work includes projects in Idaho, Lake Tahoe, Nevada and Northern and Southern California.

Design and Service-Oriented Approach

Kikuchi + Kankel Design Group is committed to a design and service-oriented approach to landscape architecture and planning. The firm has elected to remain a relatively small office in order to provide direct principal and project manager involvement throughout all phases of a project. This also ensures a personal commitment to design quality and provides a high level of production efficiency and conscientious responses.

OUR VISION AND PHILOSOPHY

Kikuchi + Kankel Design Group's staff is comprised of a team of highly motivated, dedicated professionals with a commitment to constant improvement. Each individual is encouraged to strive for balance, growth and maturation of their professional and personal lives. The highest degree of mutual respect, recognition, communication, support and understanding extends throughout the office at all levels. The team finds the work they perform and the office environment stimulating, inspirational, educational and challenging.

Kikuchi + Kankel Design Group strives for a thorough, open and lasting relationship with all of its clients. Clients recognize the quality of service provided and hire based upon reputation. Clients identify quality, honesty, integrity and professionalism as the main characteristics of Kikuchi + Kankel Design Group. The satisfaction of past clients is evidenced by a strong referral system which provides the bulk of Kikuchi + Kankel Design Group's continuing work.

Kikuchi + Kankel Design Group's commitment to improving the built and living environment is demonstrated by its continual involvement in assisting the local community, in-need organizations, educational programs and other projects and programs focused on social needs. Kikuchi + Kankel Design Group's designs strive to minimize ecological impact while exploring solutions that will benefit the environment and provide for sustainable needs.

PROCESS

The local climate offers many opportunities for homeowners to enjoy the outdoors. In order to realize the maximum potential of their properties, it is beneficial to employ the skills of a landscape architect to explore alternatives and implement good design in the reshaping of their properties.

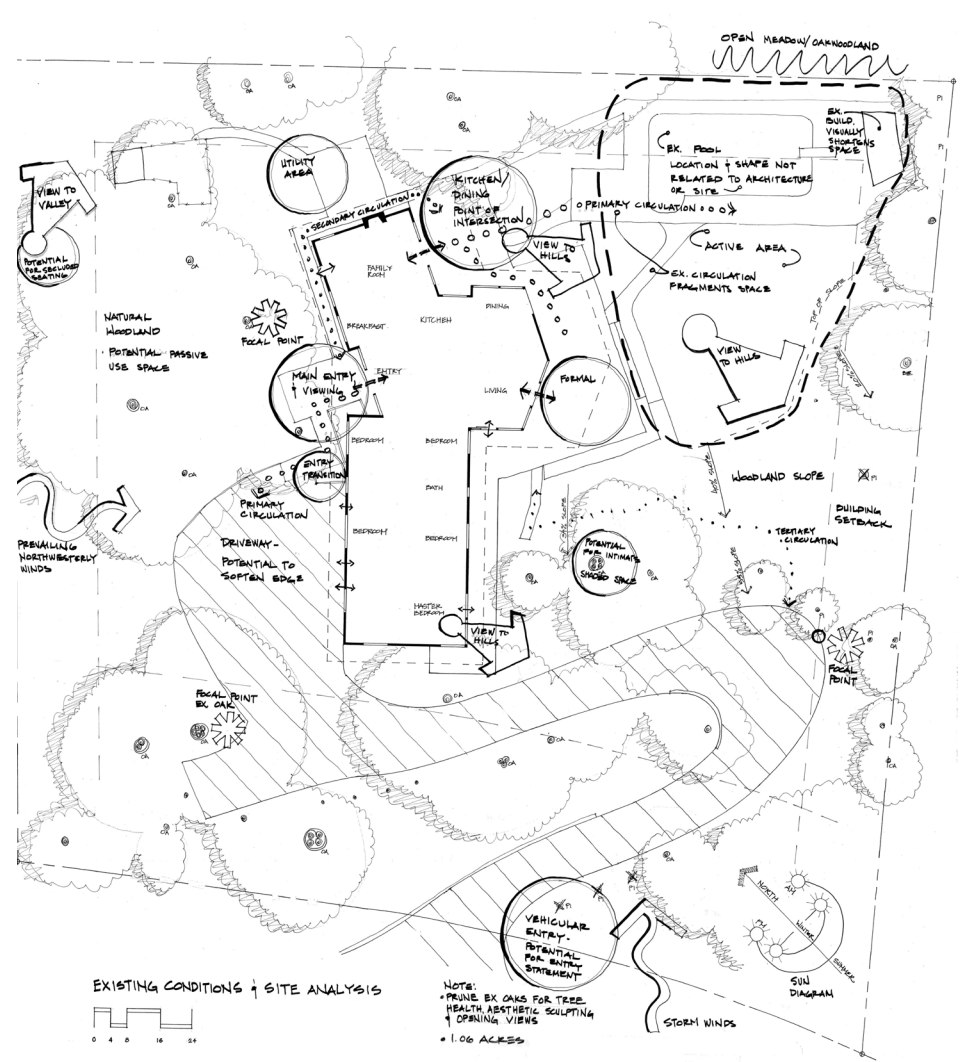
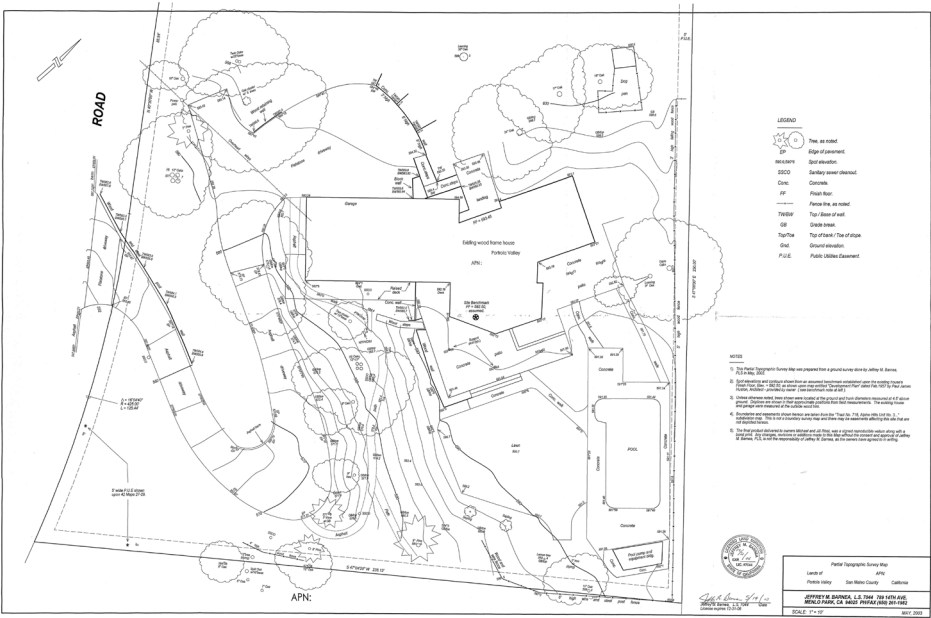
Kikuchi + Kankel Design Group has been helping people to realize the potential of their landscapes for over 25 years by taking an interactive approach to design development. Our design process is outlined in the following pages as an example of what is typically involved as a project unfolds from initial client meetings to the finalized construction.

Kikuchi + Kankel Design Group is a process-oriented firm. Our belief is that the best designs are derived from a process which involves the client / user / developer, builder and designer. It is through this process of exploration, which involves communication by listening and responding, that feasible alternatives and designs are discovered and developed. We believe that this process should be an exciting, stimulating and rewarding experience.

If it is determined that Kikuchi + Kankel Design Group is a good choice for the project, the next step is to form a proposal for the design fees and enter into an agreement with the client for the design phase.

Some projects require more pre-design work than others to gather existing conditions information. We use existing conditions plans to obtain an accurate record of the existing site features. Some projects require surveys, while others a visit to the site to take measurements, shoot elevations and take photographs. A typical site reconnaissance plan can be seen directly below. Design can begin after the existing conditions plan has been completed.

We find that there are usually multiple design solutions for each project. An Associate or Project Manager in the office will work with the Principal to develop several conceptual options. Design plans are traditionally drawn by hand to help the landscape architect communicate design solutions to the client. At least three varying conceptual design plans are reviewed with the client. These conceptual plans are graphically loose as seen on the facing page.



All of our past and present projects are unique in their project scope, program and schedule. However, most of the projects start out with an initial telephone or e-mail contact that is followed by a meeting between the client and a Principal to discuss the project scope and expectations. At the initial contact it is also determined whether or not Kikuchi + Kankel Design Group is a good choice for the particular type of project. The first consultation meeting can take an hour or more depending on the complexity of the project and the number of other consultants that may be involved. The client is responsible for communicating the desired use of the site, as well as any challenges that exist which will require solutions. Based on the owner's desired use, the Principal can often provide information concerning rough costs for design and construction.

VINES ALONG
EDGE OF DRIVE

SURROUND GARDEN W/
SHADEHOUSE STRINGS
TRANSPARENT ROOF

OUTDOOR KITCHEN
W/ BBQ GRILL &
BAR/BOOTH
JEWELRY BUILD

GAR W/ HANGING
HOOKS

PLANTING ALONG EDGES TO
CORRELATE WITH ADJACENT
LANDSCAPING (TYP)

SEAT WALL @ S

RECYCLED BRICK
OR RECYCLED CONCRETE

PARKING

BUILDING BOUNDARY

FAMILY ROOM

KITCHEN

LIVING

ENTRY

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BATH

PRIVATE OFFICE

NEW FLOORING ALONG
REFRESHED DECK

HOTTER DECK

REASONABLE ENTRY DRIVWAY
& PORCH

RESIDENTIAL & COMMERCE
W/ ADDITIONAL STEPPED
PLANTERS & KEYHOLE
UNDER STAIRS

BRAND NEW PLANTING
ALONG DRIVEWAY
PERIMETER

ORIENTAL ONE-
WOODLAND PLANTING

SEAT WALL @ S

DECK UNDER GAR
CANOPY

ENTRY TO LANDSCAPED
TRAIL - BUILDING
STREET SIDE

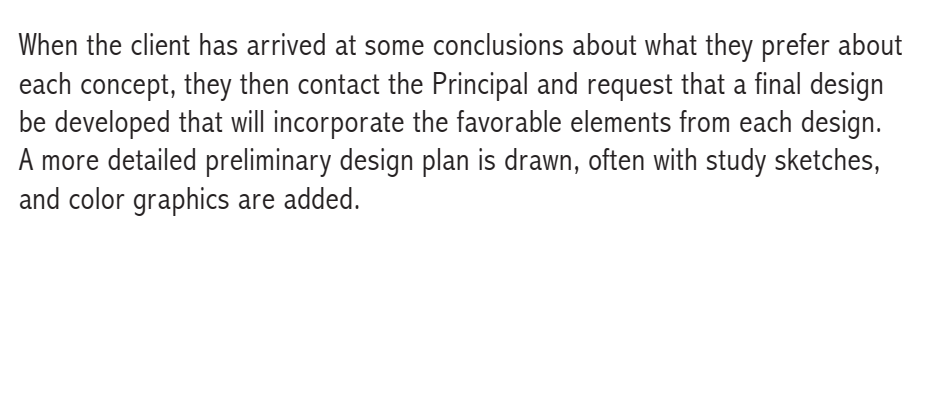
BUILDING (TYP)

ORIENTAL ENTRY
PLANTING

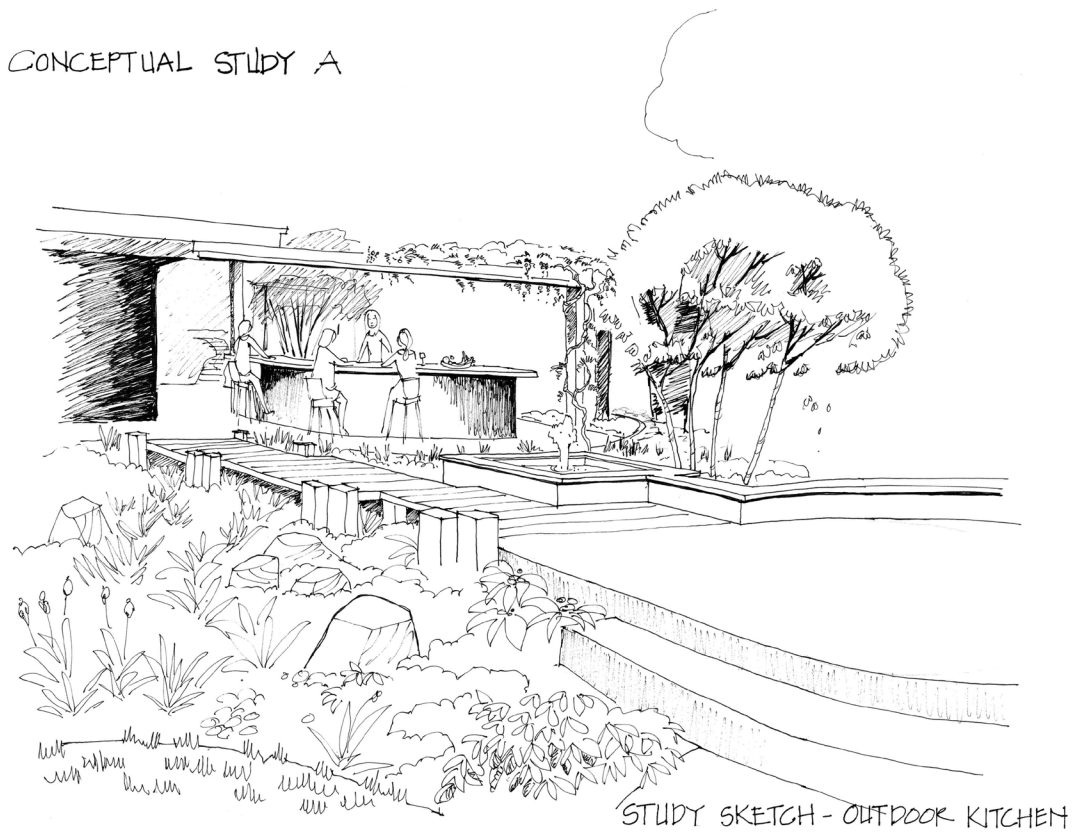
MILK STRUCTURE

CONCEPTUAL STUDY A

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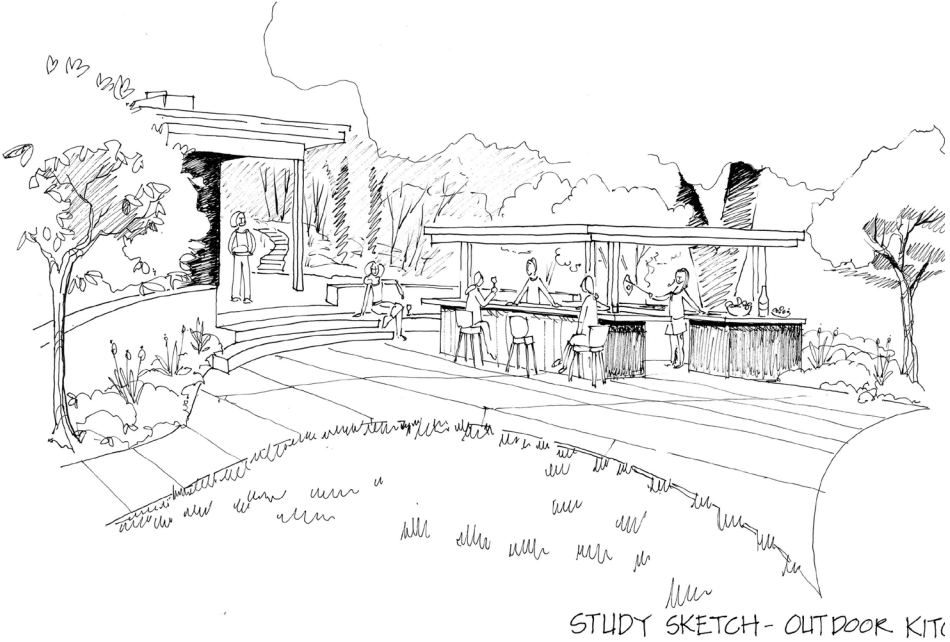


CONCEPTUAL STUDY A



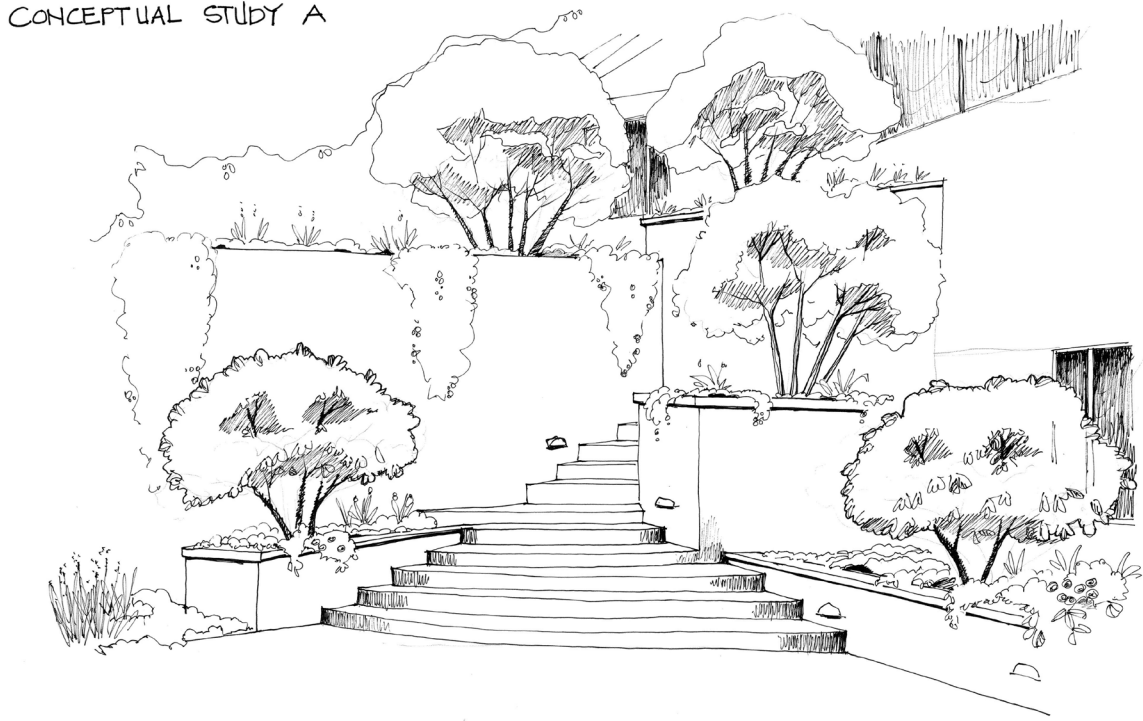
STUDY SKETCH - OUTDOOR KITCHEN

CONCEPTUAL STUDY B



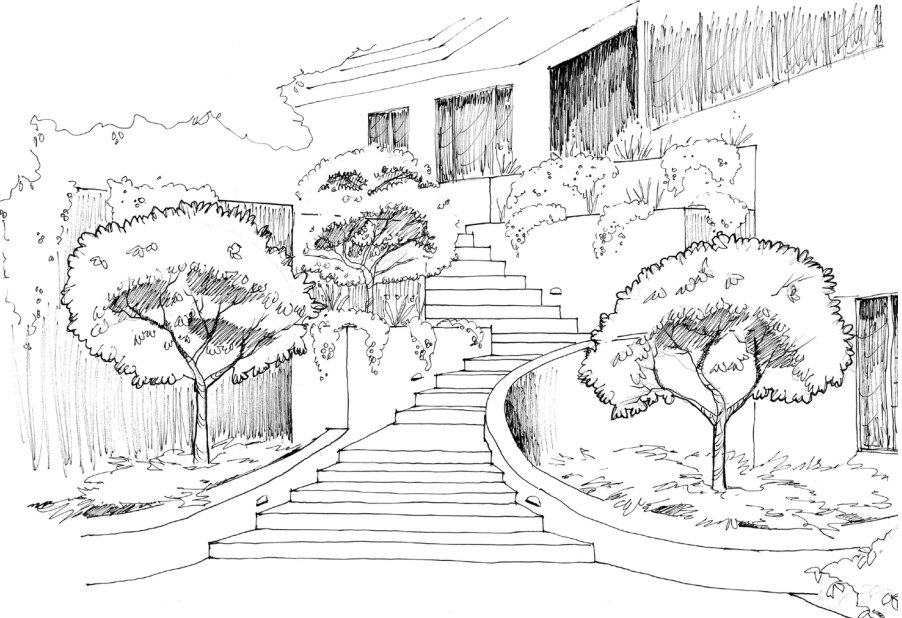
STUDY SKETCH - OUTDOOR KITCHEN

CONCEPTUAL STUDY A

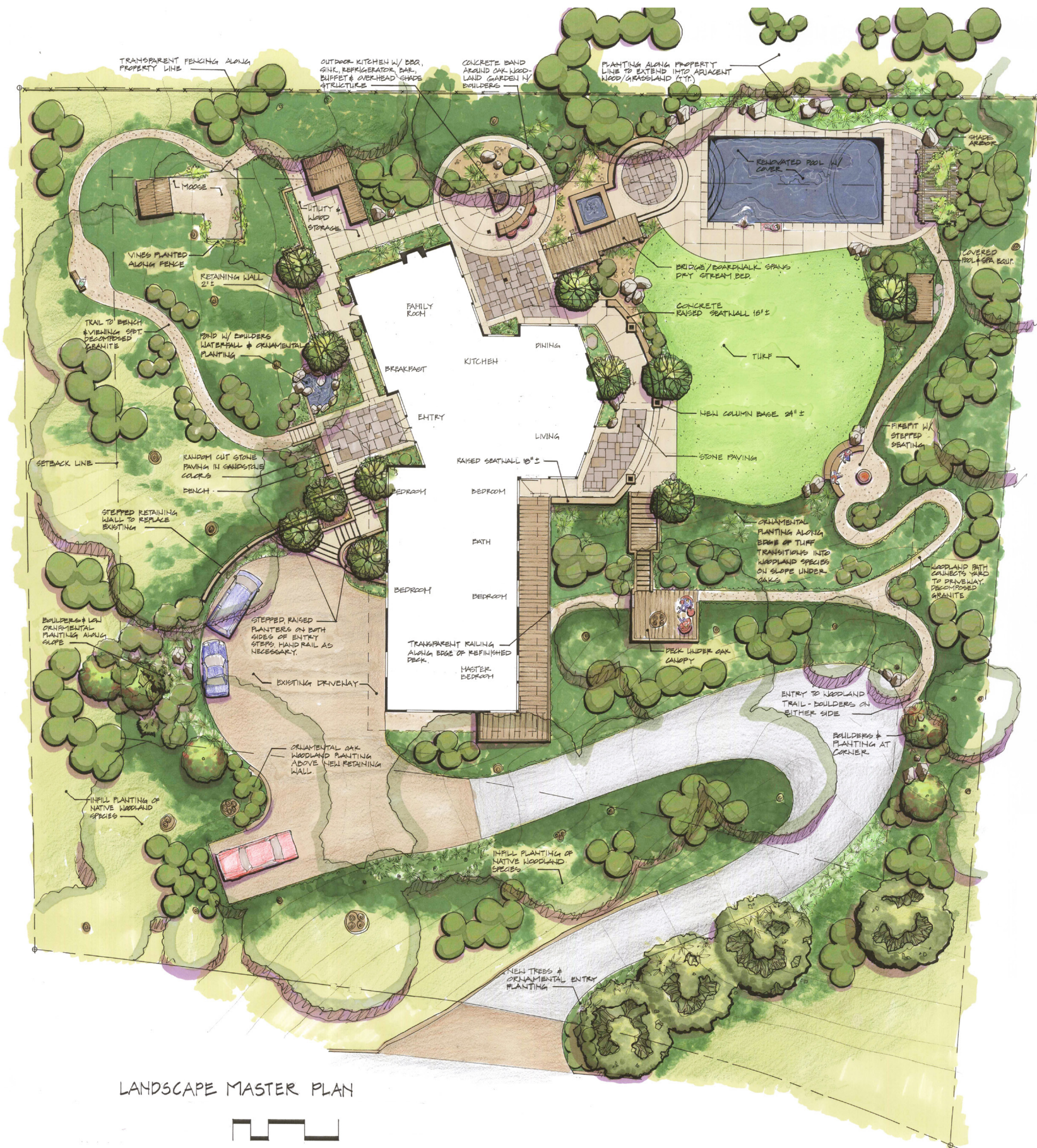


STUDY SKETCH - ENTRANCE STEPS


CONCEPTUAL STUDY B



STUDY SKETCH - ENTRANCE STEPS



PROCESS



Kikuchi + Kankel Design Group

Landscape Architecture

Site Planning

Environmental Design

730 Mill Street

Half Moon Bay, CA 94019 (650) 726-7100

CONSTRUCTION COST ESTIMATE

RESIDENCE

LANDSCAPE MASTER PLAN

11/20/03

ITEM	QTY	UNIT COST	ITEM TOTAL	SUBTOTAL
ENTRY CONSTRUCTION (Including driveway, stairs, walls and entrance)				
DEMOLITION				
remove ex. interlocking driveway	200 sf	\$1.00	\$200.00	
remove gravel backfill	8 cy	\$20.00	\$160.00	
remove ex. 9" wall	220 lf	\$2.00	\$440.00	
remove ex. footings	68 lf	\$10.00	\$680.00	
remove ex. steps	81 lf	\$2.00	\$162.00	
remove ex.entrance concrete	363 sf	\$2.25	\$816.75	
deconstruct stone walls	260 lf	\$4.00	\$1,040.00	\$3,498.75
CONSTRUCTION				
grading	30 cy	\$40.00	\$1,200.00	
fine grading	3,254 sf	\$0.50	\$1,627.00	
stone paving	216 sf	\$30.00	\$6,480.00	
colored concrete paving	208 sf	\$14.00	\$2,912.00	
retaining wall 2.5'	215 lf	\$40.00	\$8,600.00	
boulders	14 ea	\$250.00	\$3,500.00	
woodland trail	436 sf	\$5.00	\$2,180.00	
bench	2 ea	\$320.00	\$640.00	
pond		allow	\$12,000.00	
lighting	17 ea	\$350.00	\$5,950.00	\$45,089.00
ENTRY WALLS AND STAIRS				
wall #1 footing	15 lf	\$35.00	\$507.50	
wall #1 - 9" stone	131 lf	\$50.00	\$6,550.00	
wall #2 footing	26 lf	\$80.00	\$2,080.00	
wall #2 - 9" plaster	234 lf	\$30.00	\$7,020.00	
wall #3 footing	45 lf	\$50.00	\$2,225.00	
wall #3 - 7" stone	136 lf	\$50.00	\$6,800.00	
wall #4 footing	19 lf	\$27.00	\$499.50	
wall #4 - 2" plaster	37 lf	\$30.00	\$1,110.00	
wall #5 footing	32 lf	\$40.00	\$1,280.00	
wall 5a - 4" plaster	52 lf	\$30.00	\$1,560.00	
wall 5b - 2" plaster	37 lf	\$30.00	\$1,110.00	
steps	82 lf	\$30.00	\$2,460.00	\$33,342.00

Estimate by: cwils

ITEM	QTY	UNIT COST	ITEM TOTAL	SUBTOTAL
PLANTING AND IRRIGATION				
trees, 24" box	9 ea	\$300.00	\$2,700.00	
trees, 15 gal.	6 ea	\$125.00	\$750.00	
ornamental planting	2,818 sf	\$4.50	\$12,681.00	
infill planting w/ natives	2,286 sf	\$2.50	\$5,715.00	
soil preparation	5,094 sf	\$0.75	\$3,820.50	
irrigation	5,104 sf	\$1.50	\$7,656.00	\$33,322.50
		area subtotal	\$115,252.25	
		20% contractor mark-up	\$23,050.45	
		6% structural eng. costs	\$1,844.90	
		10% contingency	\$11,525.22	
		area total	\$151,671.10	

Estimate by:

ITEM	QTY	UNIT COST	ITEM TOTAL	SUBTOTAL
BACKYARD CONSTRUCTION				
DEMOLITION				
remove ex. concrete	3,831 sf	\$2.25	\$8,619.75	
misc. clearing and grubbing	10,000 sf	\$1.00	\$10,000.00	
remove sheds	3 ea	\$500.00	\$1,500.00	
remove ex. steps	89 lf	\$4.00	\$356.00	\$20,475.75
CONSTRUCTION				
grading	300 cy	\$40.00	\$12,000.00	
fine grading	7,961 sf	\$0.50	\$3,980.50	
stone paving	709 sf	\$30.00	\$21,270.00	
colored concrete paving	2,226 sf	\$14.00	\$31,164.00	
seat wall 18"	105 lf	\$80.00	\$8,400.00	
concrete steps	109 lf	\$25.00	\$2,834.00	
fire pit	1 ea	\$6,000.00	\$6,000.00	
fencing	230 lf	\$20.00	\$4,600.00	
column bases	3 ea	\$500.00	\$1,500.00	
boulders	26 ea	\$250.00	\$6,500.00	
stone step pads	32 sf	\$7.00	\$224.00	
garden/wood shed	116 sf	\$100.00	\$11,600.00	
pool/spa equip shed	60 sf	\$100.00	\$6,000.00	
pool renovation and equip.		allow	\$75,250.00	
solar heating		allow	\$10,000.00	
spa		allow	\$20,000.00	
shade arbor @ pool	153 sf	\$50.00	\$7,650.00	
shade arbor @ kitchen	155 sf	\$50.00	\$7,750.00	
outdoor kitchen		allow	\$30,000.00	
deck under oak w/ stairs	300 sf	\$40.00	\$12,000.00	
boardwalk	140 sf	\$40.00	\$5,600.00	
woodland trail	603 sf	\$5.00	\$3,015.00	
lighting	40 ea	\$350.00	\$14,000.00	
refinish existing deck	455 sf	\$4.00	\$1,820.00	
cable railing - three strands	78 lf	\$20.00	\$1,560.00	\$304,717.50

Estimate by:

ITEM	QTY	UNIT COST	ITEM TOTAL	SUBTOTAL
PLANTING AND IRRIGATION				
tees, 24" box	4 ea	\$300.00	\$1,200.00	
tees, 15 gal	4 ea	\$125.00	\$500.00	
ornamental planting	4,287 sf	\$4.50	\$19,291.50	
irf	2,635 sf	\$1.25	\$3,293.75	
infill planting w/ natives	1,500 sf	\$2.50	\$3,750.00	
oil preparation	8,422 sf	\$0.75	\$6,316.50	
irrigation	8,422 sf	\$1.25	\$10,527.50	\$44,879.25
		area subtotal	\$370,072.50	
		20% contractor mark-up	\$74,014.50	
		10% contingency	\$37,007.25	
		area total	\$370,072.50	
GRAND TOTAL				\$521,744.46

Estimate by:

these costs are preliminary for feasibility purposes only and are subject to change depending upon design refinement, time of construction, and economic climate. These costs are general guidelines based on design concepts only, and are not to be construed as actual bid or construction costs. these costs do not include soft costs such as permit, processing or architectural fees.

Most projects require some level of city planning or other agency approval and permitting. Kikuchi + Kankel Design Group interprets the local municipal code to determine if the project contains elements that require the review of planning and building departments. Depending on project complexity, the required review process may take months or even years to complete. Some municipalities or home-owners’ associations require the review of the project through an architectural review board. Most planning department reviews require a specific submittal package containing drawings and materials samples.

Kikuchi + Kankel Design Group will compile and produce the required drawings and process the submittal. Once the architectural review board or planning department has reviewed the drawings for conformance to the local municipal codes, a letter of approval will be issued. If there are concerns from a neighboring property owner or other issues, the planning department may require revisions to the drawings and a resubmittal. Usually after a second review, any issues can be resolved, and the project is approved.

The next step is for the Principal to provide a proposal to the client for completion of the construction documents.

June 14, 2004

Kutzman & Associates, Inc.
39355 California St. Suite 200
Fremont, CA 94538

Re: Plan Review Comments, Reference #

, City #

Job Name and Address:

Residence Landscape Improvements

, Portola Valley.

The following is an itemized response to the plan check comments of June 7, 2004 by Kutzmann & Associates, Inc. See attached (2 sets) stamped and signed drawing plans with clouded revisions for reference to the following:

Architectural Comments:

1.

Additional notes referencing UBC table and type of shingles as well as an additional layer of type 15 felt have been added to details N/L5 and F/L5.2.

2.

Additional notes specifying class B rated shingles has been added to details N/L5 and F/L5.2. Per discussion with Kutzmann & Associates, Inc., June 11, 2004, the above specification of standards eliminates the need for a specific manufacturer listing.

3.

Additional notes describing cable tautness has been added to detail B/L5.3.

4.

Revisions have been made to incorporate a handgrip on top of step railing on detail M/L5.2.

5.

Clarification that "exterior grade" GFI protected outlets shown on drawings are "weatherproofed" has been added to detail G/L5.3.

6.

Clarification that shed skylight has a plexiglass lens has been made to detail B/L5.2. Additional installation instructions, per discussion with Kutzmann & Associates, Inc., June 11, 2004, have been added to ensure that no water leakage occurs.

7.

Sheet L5.1 has been added to submittal set.

8.

In addition to the posts shown on the plans, the edge of lathe for the two arbors has been dashed in on the Layout Plan, sheet L2.

9.

The existing beams supporting the house overhang have been drawn on the Layout Plan, sheet L2. Per discussion with Kutzmann & Associates, Inc., June 11, 2004, other questions concerning the new post and adjacent structures should be referred to item 12 of the structural comments.

10.

Additional notes requiring conformance with stone veneering standards of the UBC have been added to detail L/L5.4.

Mechanical, Electrical and Plumbing Comments:

1.

An additional note requiring conformance with NEC Article 680 has been added to the Lighting Notes on the Lighting Plan, sheet L6.

2.

A revision has been made to location of the pool arbor electrical receptacle in order to remove it to a distance no closer than 10' from pool edge. The receptacle's revised location is on the arbor's rear post. See Lighting Plan, L6.

3.

Per discussion with Kutzmann & Associates, Inc., June 11, 2004, Lighting Legend on Lighting Plan, sheet L6, all receptacles shown are GFI protected.

4.

Sheet L5.1 has been added to submittal set.

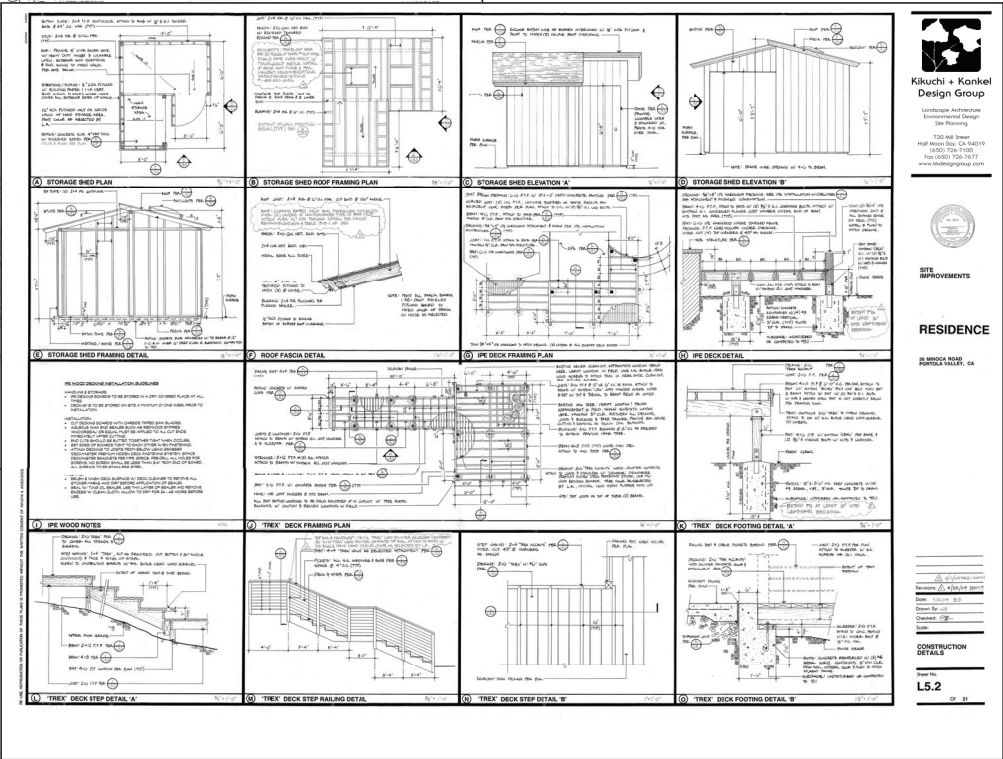
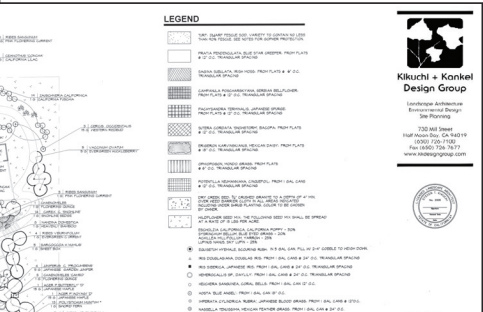
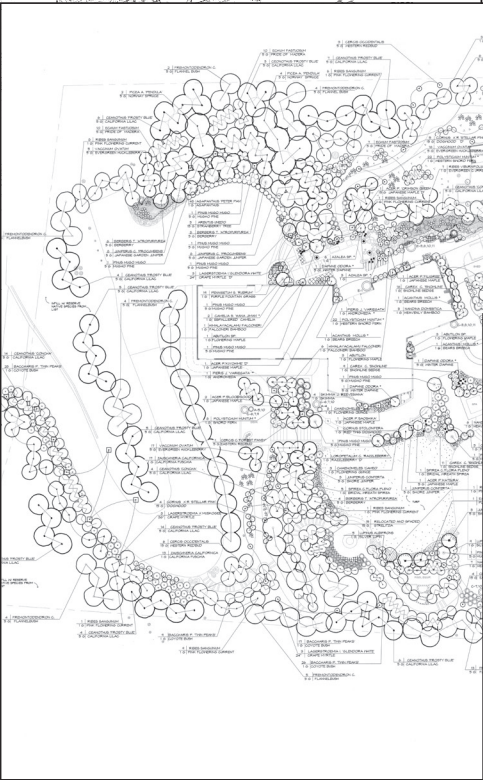
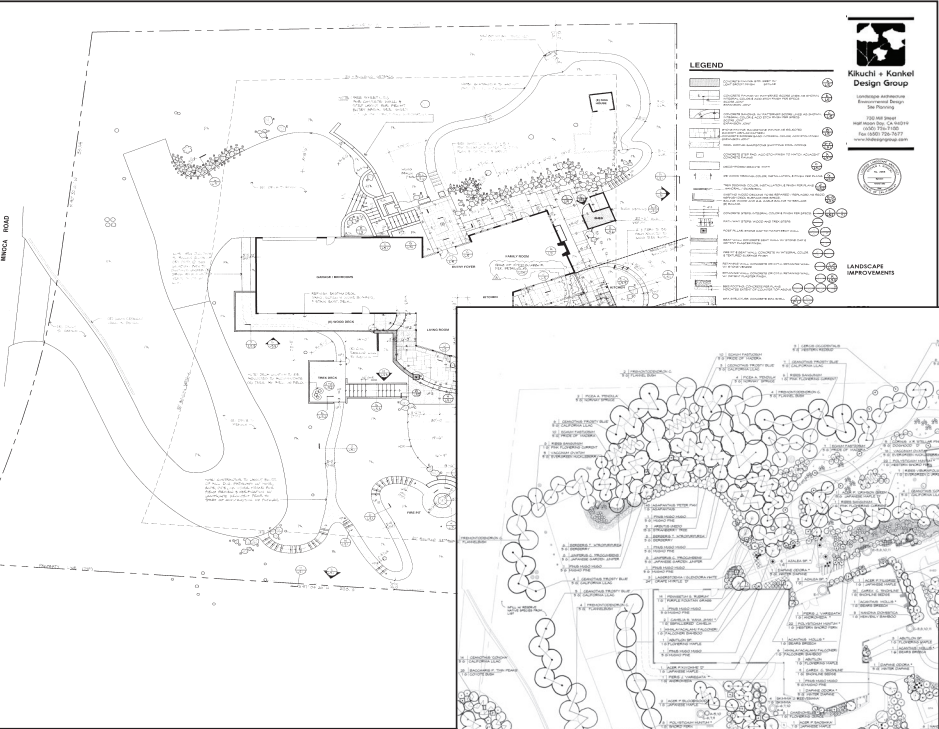
5.

Additional notes have been added to Utility Notes requiring conformance with Energy Code Section 112, on Utility Plan, Sheet L3.

8 Kikuchi + Kankel Design Group

Construction documents transform the approved design into clear drawings from which a contractor can building. In the most basic interpretation, construction documents are a very concise set of instructions for a contractor to use to build the desired design, bid or price, and obtain building permits. Our construction documents may include layout, grading, planting, irrigation and lighting plans.

They also include construction details for every element of the design from paving to arbors to fountains. We also provide a specifications manual with all of the materials, finishes, soil preparation and standards for the contractor to adhere to during installtion of the project. Examples of construction documents can be seen below.



PROCESS

When the construction documents have been completed, the client is given the opportunity to review them with the Principal, and any final adjustments to the plans are made. If the client wishes to put the project out to competetive bid, Kikuchi + Kankel Design Group will contact several contractors whom they feel would be a good match for the project type and ask them to produce a formal bid. Each contractor will receive plans, specifications and bid forms.

During construction of the project, Kikuchi + Kankel Design Group offers construction administration services that are usually based on a time-and-materials arrangement. The contractor may contact Kikuchi + Kankel Design Group several times during the course of construction for clarifications, additional information, or progress reviews at the end of each billing period. Kikuchi + Kankel Design Group can review the contractor’s billing invoices to the client for conformance to the actual amount of work that has been completed to date for any discrepancies.

March __, 2004 DRAFT

BID FORM

Client Name
Address

The undersigned contractor, doing business as: _____
having carefully examined the Drawings dated March __, 2004, and the Project Manual dated March __, 2004 entitled:

Residence
Landscape Improvements

as prepared by Kikuchi + Kankel Design Group proposes to furnish all materials, labor, and related incidental items as indicated. Bid items are to include all materials, labor, and transportation to perform work. Accommodations to perform future phasing as required be provided.

ITEM 1: Base bid: (55 days) \$ _____
Including, demolition, site grading, fencing, concrete and decorative walls, drainage, steps, deck #1, boulders, pathways, sheds, erosion measures, pool coping and any other items not specifically included in items.

ITEM 2: Entry: (45 days) \$ _____
Includes concrete and stonewalls, steps, surface finishing, backfill, drainage, fountain (including, but not limited to, excavation, piping, skimmer controller, filter, pump, spillway assembly, concrete, liner, drainage, and installation of all stones and boulders) and all other installation and cost to complete the entry from the driveway to the entire length of the front house.

ITEM 3: Outdoor Kitchen: (15 days) \$ _____
Includes barbecue unit and other appliances, arbor, counters, electrical connections and gas stubs and all other items associated with the kitchen.

ITEM 4: Decks: (12 days) \$ _____
Residence
Bid Form

Includes lower deck (#2) installation, footings, grading, railings, and stairs. Includes upper deck (#3) refinish, demolition and replacement of railing. Includes all other labor and materials associated with deck improvements.

ITEM 5: Pool and spa: (20 days) \$ _____
Including, but not limited to, demolition of existing pool, grading, plumbing, gunite shell, plaster, tile, automatic pool cover and housing for pool. Including, but not limited to, excavation, grading, plumbing, gunite shell, plaster, tile and for spa. Including all equipment, timer, related electrical and accessories.

ITEM 6: Solar heating system: (4 days) \$ _____
Includes installation of solar pool heating system including, but not limited to, piping, panels, and connection to pool equipment.

ITEM 7: Firepit and stepped seating: (8 days) \$ _____
Includes grading and installation of concrete, reinforcing, and drainage for firepit and adjacent stepped seating.

ITEM 8: Pool arbor: (4 days) \$ _____
Includes footings, carpentry and painting of arbor at the south east end of swimming pool.

ITEM 9: Electrical and lighting: (5 days) \$ _____
Includes all materials and installation associated with new lighting and electrical including, but not limited to light fixtures, wiring, conduit, trenching, outlets, switches and power supply connections for all new electrical needs.

ITEM 10: Planting and irrigation: (14 days) \$ _____
Includes fine grading for planting and turf areas, off haul of any excess soil generated by any of the indicated items, soil preparation, installation of all shrubs, ground covers, trees, and turf, header board, bark mulch cover, complete irrigation system for all plantings, maintenance and stubs for connections to fountain fill valves as indicated on drawings.

Total: (180 days) \$ _____

ITEM 10: Bid alternate #1 - Italian plaster: (3 days) \$ _____
Residence
Bid Form

Page 2 of

In lieu of cement plaster shown on details I and P, sheets L - _____, seat walls and pillars shall receive pigmented lime stucco finish by Ashplant Studios, 831-332-8191 or 415-346-1033.

INSPECTION: All Contractors shall inspect the site and its existing conditions prior to bid and shall accept site conditions prior to commencing work. Contractor may visit the site first notifying the owners _____, at _____.

NOTES: All necessary permits shall be obtained by the Contractor who shall be reimbursed by the owner.

RULE: Owner wishes to commence project as soon as possible. Project shall be completed within 180 days, weather conditions permitting.

DEADLINE: Bids are due on or before 4:00 p.m. Friday, April 30, 2004. Bids shall be submitted on this original form and any special conditions or notes shall be made in writing. All bids shall be sent to Kikuchi + Kankel Design Group, 730 Mill Street, Half Moon Bay, CA 94041. A facsimile sent to Kikuchi + Kankel Design Group at (650) 726-7677 is acceptable if accompanied by the original to follow by mail.

REMARKS: The Owner reserves the right to accept or reject any bids and individual items are not in their best interest. Contractor awarded with contract shall provide an itemized breakdown of project work costs for billing submittal purposes. Prices shall hold valid for any portion of individual bid items. Contractor shall hold valid his price for a minimum sixty (60) days.

CONTRACTOR'S: _____
Date _____
Contractor's Name _____ License No. _____
Address _____ Phone _____

EXCLUSIONS / CONDITIONS / NOTES: _____

SUBSTITUTIONS: Substitutions from above subcontractor list does not warrant price adjustments. Substitutions shall be approved by Owner.

Residence
Bid Form

Page 4 of

The contractor will use a bid form that is included with the project’s specifications manual to record their costs for labor and materials for each of the project’s items, such as paving, fountains, planting, etc. The contractor will be given a due date by which to turn in their bid forms to Kikuchi + Kankel Design Group.

Once Kikuchi + Kankel Design Group receives all of the bids, we will compile a bid comparison spreadsheet showing the items’ costs from the contractors’ bids. After reviewing the

bid pricing with the client, the client can interview selected bidders and decide which contractor to hire for the installation of the project.

Once the client verbally agrees to hire a specific contractor for the project, Kikuchi + Kankel Design Group will draw up a formal contract based on the American Institute of Architects standard contract for the client and contractor to authorize. The construction documents and bid form are included in the formal contract agreement.


BID COMPARISON												
CONTRACTORS	Item 1	Item 2	Item 3	Item 4	Item 5	Item 6	Item 7	Item 8	Item 9	Item 10	Item 11	
	Base	Entry	Kitchen	Decks	Pool/Spa	Solar Heat.	Fire/seating	Pool Arbor	Electrical	Plant/Irr.	Alt.1/Plaster	TOTAL
Windsor	\$282,940.50	\$159,919.90	\$98,606.64	\$30,927.00	\$125,639.80	\$9,295.00	\$13,437.70	\$25,421.50	\$35,891.20	\$120,951.50	\$25,875.00	\$928,905.74
Bay Landscaping	\$166,500.00	\$127,250.00	\$31,500.00	\$74,000.00	\$115,500.00	\$11,500.00	\$10,000.00	\$29,500.00	\$30,000.00	\$132,650.00	\$23,500.00	\$751,900.00
Acme	\$229,649.00	\$185,332.00	\$159,687.00	\$39,057.00	\$151,855.00	\$9,200.00	\$11,827.00	\$72,627.00	\$46,325.00	\$156,393.00	\$7,500.00	\$1,069,452.00
LG Landscaping	\$329,580.00	\$156,000.00	\$37,900.00	\$42,000.00	\$116,000.00	\$12,000.00	\$5,600.00	\$30,000.00	\$43,500.00	\$119,000.00	\$26,000.00	\$917,580.00
Average	\$252,167.38	\$157,125.48	\$81,923.41	\$46,496.00	\$127,248.70	\$10,498.75	\$10,216.18	\$39,387.13	\$38,929.05	\$132,248.63	\$20,718.75	\$916,959.44

This offers the client a fair and accurate payment of compensation for the percentage of work that has been completed. When Kikuchi + Kankel Design Group conducts a site observation for construction, we provide a field report to the client to keep them informed of any issues that arise.

These field reports are progress records to remind the contractor of decisions that were made in the field at the time of the visit. An example of a field report can be seen below.

After the project has been reviewed for substantial completion, a maintenance period of typically 30 days will begin. During this period, the contractor will perform routine maintenance and finalize outstanding items.

After the maintenance period ends, the client is responsible for paying any outstanding fees to the contractor for completion of the contract. At this time, the project is deemed complete.



Kikuchi + Kankel Design Group

Landscape Architecture Site Planning Environmental Design

730 Mill Street, Half Moon Bay, CA 94019

TEL: 650.726.7100 FAX: 650.726.7677

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Field Report

Client Name

Address

10/09/2010

Job Site Location

Contractor:

Owner:

Site Conditions: 60°, sunny

Present:

The meeting was conducted at the request of the contractor to review work in progress. The following was noted:

Job Status: Recent work has been done on the entry fountain including installation of the filter vault and the filter, boulder placement along edge of feature and an installation of a granite spillway. Pots have arrived and been sited. Turf has been installed. The new IPE deck off the master bedroom is 90% complete.

Planting:

1. Lea has been notified to order the remaining pots. She is unsure she has the final list. KKDG shall call to confirm.

2. Pots are on site. The largest pots, 36x36, are too large for locations shown on the plans. KKDG made suggestions for alternative locations. KKDG shall notify Contractor to delay planting until decisions for locations have been confirmed.

3. KKDG shall arrange for site visit with Contractor to site placement of Bird of Paradise, Iris and pots.

Carpentry:

1. Treatment to blend the posts and beams of the new IPE deck outside the master bedroom were discussed. KKDG suggested painting this wood to match the stain color of the house would be an economical solution.

Fountain Water Feature:

1. Owner and KKDG discussed the visibility of the pump in the water feature. Drawings show pump in a box hidden by a grate. It appears that the temporary pump installed for testing fountain has not been replaced by the OASE Powermax 1500 specified on the drawings.

2. The AWO overflow box has not been installed in lower pool per plans. Owner has decided not to have an automatic fill installed, but the overflow location is still per drawings so that it is not visible from above.

3. Owner and KKDG reviewed the plumbing going into the filter. It appears that a bypass has been installed before the filter. Contractor shall discuss reasons for this configuration.

Concrete at Pool:

1. Owner and KKDG reviewed the removed concrete at pool. Reasons for the continuing uplift were assessed. Contractor shall excavate soil to a depth of 24" and fill with base rock prior to future concrete pour.

2. The possibility of the pool uplifting was assessed. The waterline adjacent to the tile was observed. KKDG questioned whether the pump installed next to the pool to relieve hydrostatic pressure has been on. KKDG shall notify Contractor to confirm.

3. Owner, Acme Landscaping and KKDG discussed the length of time it is taking for the pool contractor to complete work. The installation date for the pool cover was discussed in relation to removing the fencing installed around the pool. Contractor knows this fencing shall be removed prior to arrival of Owner's guests. KKDG is waiting for a job completion date from Acme Landscaping.

The above is as noted by Kikuchi + Kankel Design Group. Please notify the office with any additional or contrary information.

cc:

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signed _____ date 10/15/10

PROCESS

While there is not a standard process for all projects, the following represents a step-by-step chronology:

Design Phase

1. Client Meeting - to determine project scope, issues, concerns and feasibility.
2. Code Search - investigate and determine governing agency ordinances, codes and review processes required.
3. Conceptual Design - develop concept alternatives and meet to review.
4. Design Refinement - refine the design concept, develop construction cost estimates and meet to review.

Agency Processing

1. Determine the need for agency review - ie. design review, planning commission, council, neighborhood organizations, youth sports organizations, special district reviews, environmental agencies.
2. Submittal Preparation - compose data, drawings, samples, applications, notifications as determined by submittal or permit requirements.
3. Project Presentation - if required, present design concepts to governing body.

Construction Documents Phase

1. Design Refinement - refine the details of design, including budgetary issues, time schedules.
2. Construction Drawings - detailed drawings necessary for obtaining competitive bidding, dictating the quality of construction and acquisition of building permits. Plans could include a Construction Layout Plan, Grading and Drainage Plan, Irrigation Plan, Planting Plan, Lighting Plan, Detail Enlargements, and Specifications.
3. Coordination - coordination of sub-consultants if necessary, ie. geotechnical, structural, civil engineers, arborist, environmental consultant.

Bidding Assistance and Contract Negotiations Phase

1. Bid Distribution - obtain competitive bid prices from contractors.
2. Bid Collection and Evaluation - collect and evaluate bid results.
3. Contract Negotiations - assist in the cost negotiations with a contractor.
4. Contract / Agreement Development - assist in the drafting of a contractor-client construction agreement.

Construction Administration Phase

1. Observations - review project under construction for conformance to plans as a third party on behalf of the client.
2. Submittals Reviews - review and determine acceptability of products and materials to be utilized on the project.
3. Coordination - process modifications to the project, increases in the scope of work and review payment requests.

Post Construction Phase

1. Evaluate on-going maintenance.
2. Review client satisfaction with final design.



Location: Los Altos Hills, CA
Year Completed: 2011
Site Size: 1.1 acres
Style: Contemporary

The phrase “indoor-outdoor” design is exemplified by this house and its site design. Working with the building architect during conceptual development of the house design, Kikuchi + Kankel Design Group’s participation was instrumental in the formulation of the floor plan, the overall siting of the house and its outdoor site features. The resultant house “opens up” to the property, making the transition from indoor to outdoor spaces pleasing and seamless.

Public rooms, such as the living room, family room, dining room and kitchen are not only located in logical relationships to one another but are also adjacent to appropriate outdoor use spaces. These spaces act as usable extensions of the interior rooms and also provide important visual amenities. As a result, every public room has good sun exposure and lush views that complement the interior spaces.

The house positioning on the property is not the standard layout either. This new house abandons a pre-existing house’s “build-to-the front-setback” method and instead gracefully sweeps across the site. This develops unique spatial volumes in all yards surrounding the house. Without the typical rectangular shaped front, rear and side yards, there is a subtle illusion of an overall larger property and more interesting “exterior rooms”.

Key elements that lend to this visual flow are the sensitive use of building materials, finishes and colors that provide a physical and psychological connection from house to yard. Contemporary, clean and simple lines of the house extend to the site architecture. Bi-fold doors that are 18’ wide open the family room to the swimming pool area, blurring the line between interior and exterior.

With a newly designed house and site, the homeowners now enjoy a lifestyle that is more outwardly focused and appreciative of the property’s acreage.









PROPOSED
 PROPOSED
 PROPOSED





LOCATION: Portola Valley, CA
YEAR COMPLETED: 2006
SITE SIZE: 1.1 acres
STYLE: Contemporary
SITE DESCRIPTION: Rural Residential

Upon first visit to this site, it was apparent that the 1960's architecture of the residence was, at one time, a showcase example of this period's style of architecture. Remnants of the framework of the site and building remained, however, neglect had led the property into disrepair

The site had grown into a "fractured" environment. Exterior spaces lacked definition and continuity. Access was limited and challenging. Original site walls were collapsing, and an existing pool was cracked and leaking.

The challenge was to recapture the original flavor of the architecture, as well as integrate the entire property as one with the building. As with many "modern" buildings, this one lent itself to the classic "indoor-outdoor" relationship. Expansive floor-to-ceiling windows and long overhangs framed the exterior as an equally important aspect of the owner's living environment.

An important goal was to meld the indoors to the outdoors and then to meld the property with its natural surrounds. The rear yard "expanse" was enhanced by trimming back trees to open distant views towards a local mountain range, by providing carefully placed plantings to screen neighboring buildings and by removing property-line fencing between the site and adjacent open space owned by Stanford University. Views were "borrowed" giving the impression that the site was the sole property on unlimited acreage.

Material selections were critical. Use of redwood lumber for an outdoor kitchen façade and overhead arbors related these landscape elements to the same material as sheathes the house exterior. Texas limestone, originally a façade on the building and a veneer on site walls, was salvaged from crumbling walls and re-used on new entry walls, contributing to the melding of the house with the site. New and existing walls were re-coated with Italian plaster to provide the smooth finish, yet aged in appearance. Arizona sandstone paving was utilized throughout the yard as a common unifying paving element.

The resultant site was one that was simple and clean, yet filled with finely articulated details. The design utilized water, fragrance, texture and color to provide sensory stimulation throughout the site.





BEFORE



AFTER









BEFORE



AFTER

LOCATION: Saratoga, CA
YEAR COMPLETED: 2010
SITE SIZE: 130,000 square feet (3.0 acres)
STYLE: Mediterranean Country
SITE DESCRIPTION: Suburban Residential Estate

This unique property is comprised of two separate parcels, each approximately 1.5 acres in size. It is studded with magnificent decades-old California Live Oak trees that predate previous development. The gently sloping terrain of the land provides optimal sun exposure and allows for magnificent views of the distant Santa Cruz Mountain range.

The entirety of the project was planned and constructed over a 10-year period of time in 2 separate phases. The clients' desire for a single-story, low-profile Mediterranean style home with a strong indoor to outdoor relationship was realized via the design of both intimate as well as expansive "outdoor rooms". The highly-utilized yard features a pool and spa, a gas fire pit, an outdoor kitchen complete with a pizza oven, a sport court, a wine cellar, a vegetable garden, numerous water fountains, extensive turf play areas and a vineyard. Architectural materials, finishes and forms extend from the building to the site, melding the two into a single cohesive design. Interior paving flows from indoor to outer courtyards without steps, enhancing their connection. The variation in size and location of the outdoor spaces allows for the client to entertain both intimate or large gatherings.

The second phase came to realization with the acquisition of an adjacent parcel. With this additional land, it became obvious that the goal was to meld the two sites into one via the use of architectural details, materials and finishes. The primary design element is the storage and display of 12 antique automobiles. A guesthouse with private access and garden, an outdoor yoga space, a second outdoor kitchen, an expansion of the vineyard and a contemplative meditation space complete the site. This completed yard fully satisfies the clients' desire to host large charity events.

Material selection was critical in composing the design vocabulary of the property. Numerous styles of stone and tile paving are utilized to relate interior to exterior spaces while providing a unique identity for each area. Reclaimed materials, such as terra cotta and limestone pavers have been carefully integrated into patios, entries and terraces. The auto court is a combination of rich finishes, colors and textures of bluestone and limestone pavers, resulting in an elegant outdoor space of unique visual interest.

Predominantly drought-tolerant plantings blend well with mature native California Live and Black Oaks. All pre-existing native trees were preserved in recognition of their history and long-term value. One 45-year old, 76-ton Black Oak has been relocated to accommodate a building location, now perfectly framing a new garage building. The integration of the site and its surroundings mark this project as a unique design solution with discerning esthetics and maximum functionality.

















LOCATION: Atherton, California
YEAR COMPLETED: 2004
SITE SIZE: 1 acre
STYLE: Contemporary Country
SITE DESCRIPTION: Suburban Residential Estate

Subtle is the word used to describe the mood of this residential property. The buildings blend with, rather than dominate, a site consisting of mature oak trees and lush vegetation. This allows for the site planning or the placement of all site features to make the design statement.

Building renovations to this 30+-year-old house included the addition of a new detached pool/guest house. Collaborating with the building architect on the siting of this new structure introduced the concept of a prominent arbor feature that would act as the center-point axis of the swimming pool, guest house and family room expansion. This peaked-roof structure visually draws you outdoors to this central gathering space.

An existing driveway was realigned to better suit access to a reconfigured garage, minimizing impact on a magnificent heritage oak tree. The main entry to the house was re-defined.

Of most significance was the incorporation of the client's extensive exterior art collection into the landscape. Each sculpture was evaluated for its visual prominence, scale, and texture in relation to the space in which it was located. Surrounding plantings as a backdrop for each piece of art were selected on the basis of complementing the sculptures.



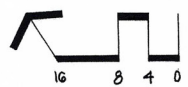






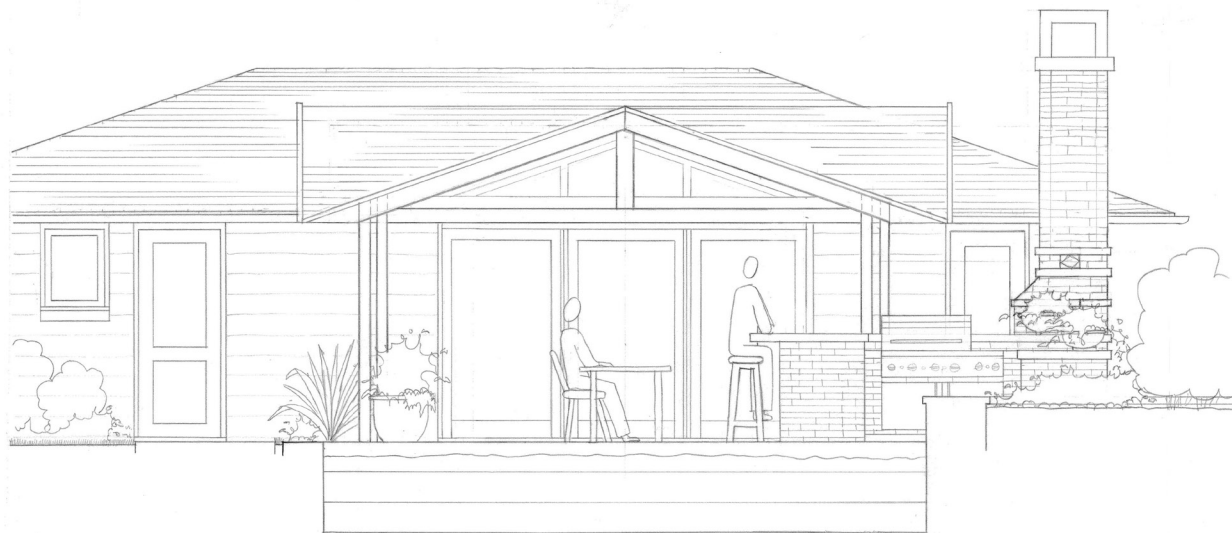


PRELIMINARY PLAN



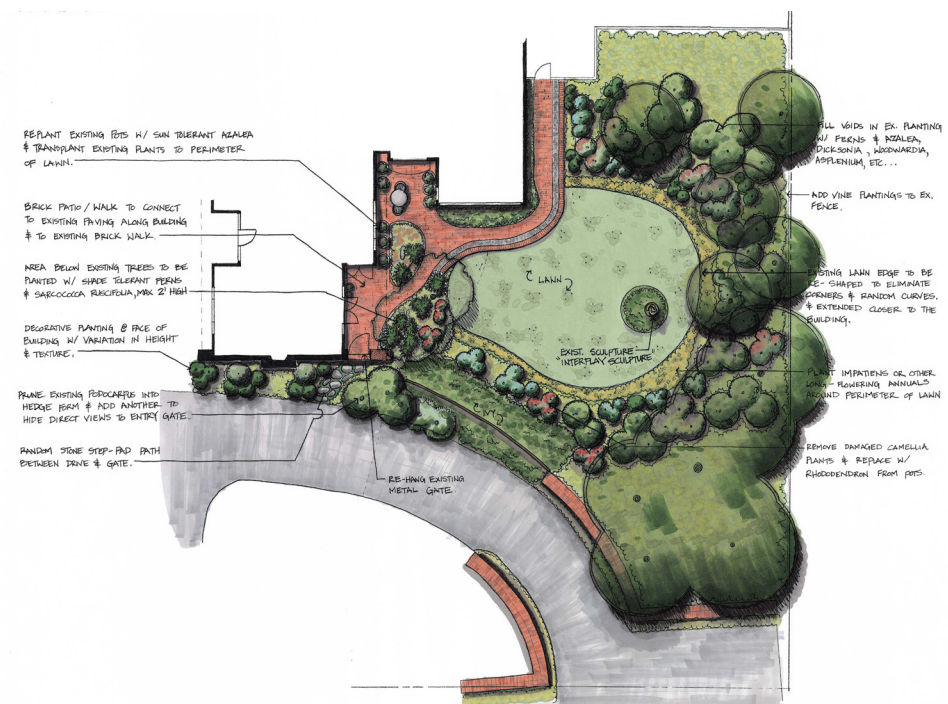


SECTIONAL ELEVATION FROM HOUSE
 $\frac{1}{2}'' = 1'-0''$



ELEVATION FROM POOL
 $\frac{1}{2}'' = 1'-0''$





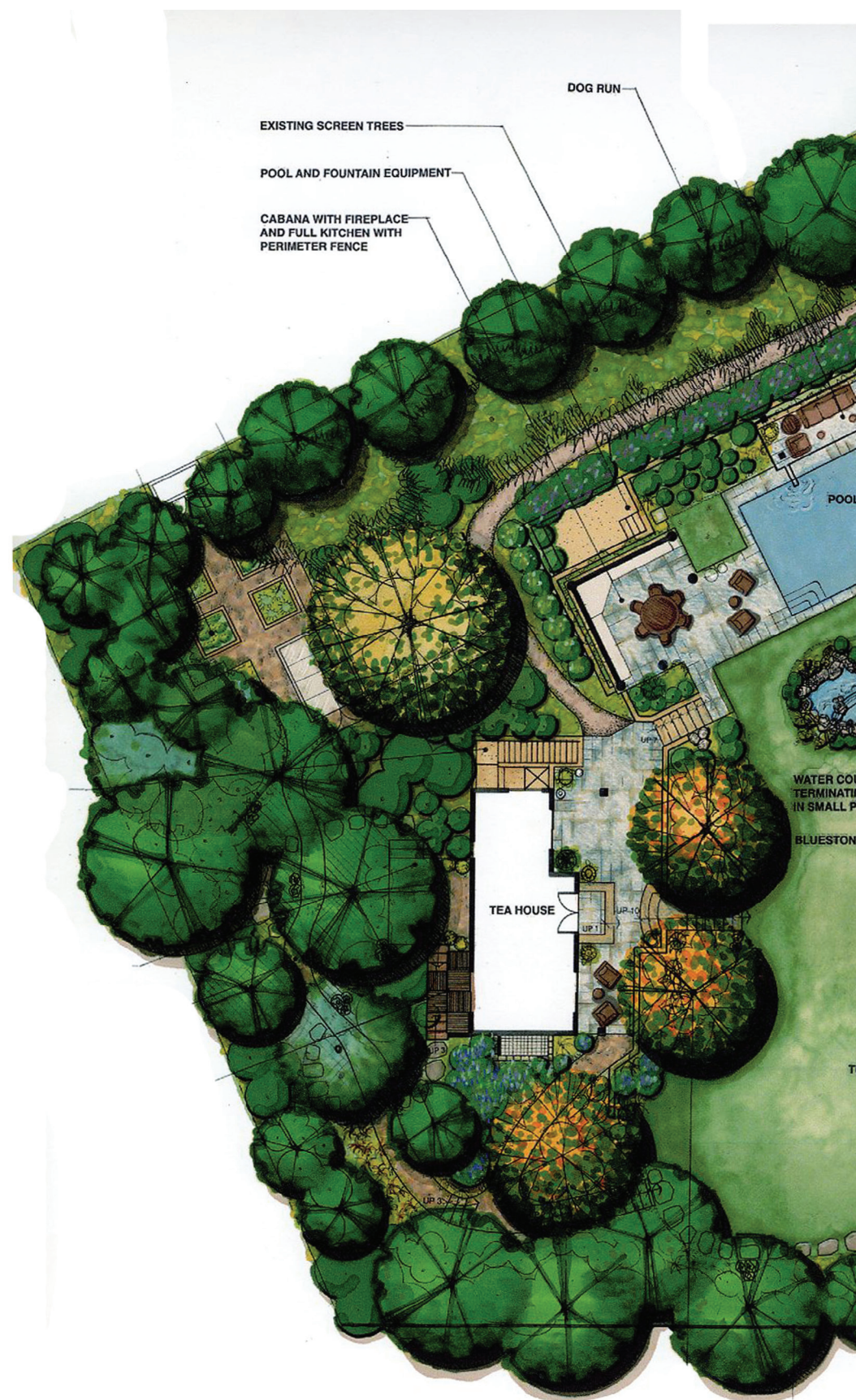


LOCATION: Los Altos Hills, CA
YEAR COMPLETED: 2005
SITE SIZE: 65,000 square feet (1.5 acres)±
STYLE: Contemporary
SITE DESCRIPTION: Suburban Residential Estate

Kikuchi & Associates stepped in as landscape architect for this project with the task of adopting another firm's design and refining it. Maintaining the site features and the town approvals was necessary for the project to be completed successfully. Construction of a new house and detached garage (connected by a subterranean tunnel), pool cabana, and guesthouse began as the design was refined. The site slopes downward from the street and has sweeping westward views of the coastal hills. The design utilizes extensive screening at the property perimeters to give the family privacy, while maintaining the views to the hills. The extensive use of water features helps to prevent any ambient noise from intruding onto the site.

In assuming the approved design concept of another firm, Kikuchi & Associates was committed to providing a large auto court that serves as an emergency vehicle turn-around. Colored concrete with a large scale scoring pattern helps to keep the auto court understated and prevents it from becoming an overwhelming space. Drivable turf was used in portions of the perimeter to reduce the amount of necessary concrete. Stone paving that matches the pedestrian paving was integrated into the driveway to add a human scale and to blend the pedestrian and vehicular entry together. The placement of the square stones subtly mimics the sandblast pattern on one of the building windows. Once visitors leave the auto court and approach the building, they cross a bridge over a pond with two distinctly different water features, each with its own unique character to be enjoyed from different rooms, as well as from the entry courtyard itself.

A strong indoor-outdoor connection is a key component of the design. To provide this, an extensive bluestone patio connects several rooms at different elevations across the back of the house. Circulation in and out of the house and across the back patio, as well as seating areas, seat walls, a barbeque, and a spa were all accommodated. The spa is situated at the edge of the patio on level with the upper terrace. It appears to spill into a stream which flows across the edge of an extensive lawn and finally over a waterfall into a small pond down at the pool cabana level. It is from the pool cabana that one can sit and enjoy the view of the watercourse, the architecture of the building, and the grass-edged pool. The pool has its own private seating area covered with a steel arbor complete with two 10' high spillways into the pool. If an additional retreat is necessary, a secret shade garden is situated beneath existing elm and plum trees behind the guest house. It is here that one can find shade and peacefulness amongst the Japanese style garden.









LOCATION: Los Altos Hills, CA
YEAR COMPLETED: 1999 and ongoing
SITE SIZE: 2 acres
SITE DESCRIPTION: Contemporary

Kikuchi + Kankel Design Group first developed a landscape Master Plan for this 2-acre property 12 years ago when the owners were implementing a major house remodel and site renovation. Over this period of time, Kikuchi + Kankel Design Group has provided ongoing services in the implementation of and enhancements to the Master Plan design in numerous phases.

This unique property is situated atop a knoll in Los Altos Hills, providing the site with panoramic views of the San Francisco Bay and the East Bay Hills. From this vantage point, the ultimate in privacy has been established with views to and from the property delicately screened and defined in a manner that provides the illusion of a property 6 times its actual size.

Establishing a very subtle and understated design approach, the site presents a simple and clean statement of a character that is contemporary with an influence of Japanese style architecture. The house envelops a central courtyard that is visible from most rooms of the house via large floor-to-ceiling windows. This court has been landscaped in the traditional Japanese View Garden style, with boulders, gravel, stone paths, plantings and a tsukubai fountain that evoke a mood of calm and serenity.

Water plays a unifying visual and auditory element in the design, via a creek that cascades from an upper viewing area to a pond, a spa spill that cascades in to the swimming pool below and the trickle fountain in the courtyard. The site has also been defined into spaces or “outdoor rooms” that are distinctive in purpose, scale and appearance.

The owners acknowledge that their landscape is a growing and evolving inspiration that is very much reflective of their evolving lifestyle. Implementation of the Master Plan continues to this day, as well as enhancements inspired by yearly site visits to the property.











LOCATION: Monte Sereno, CA
YEAR COMPLETED: 2006
SITE SIZE: 65,000 square feet (1.5 acres)±
STYLE: Mediterranean
SITE DESCRIPTION: Suburban Residential Estate

As a joint venture with a building designer, Kikuchi + Kankel Design Group teamed up to develop a Master Plan for a new home for a family to replace the old, outdated house they were currently living in. The unique site is located at the end of two streets that are connected by a gated fire road, making the site bordered on three sides by road. In order to take advantage of views and solar orientation, as well as to improve the usable exterior space on site, the access to the site was changed from one street to the other. The change of access along with a house situation that was not square to the property lines, helps create many unique exterior spaces of different size and exposure. The orientation also de-emphasizes the straight lines of the surrounding roads.

The entry of the house is oriented to the corner of the site where the driveway meets the street. Upon entering the site through the wood and steel gates, the visitor finds himself in a tree-ringed auto court with pervious concrete paving as the ground plane material and a vineyard beyond. A series of wide, generous flights of stairs brings the visitor to the front door framed by olive trees echoing the theme of the building.

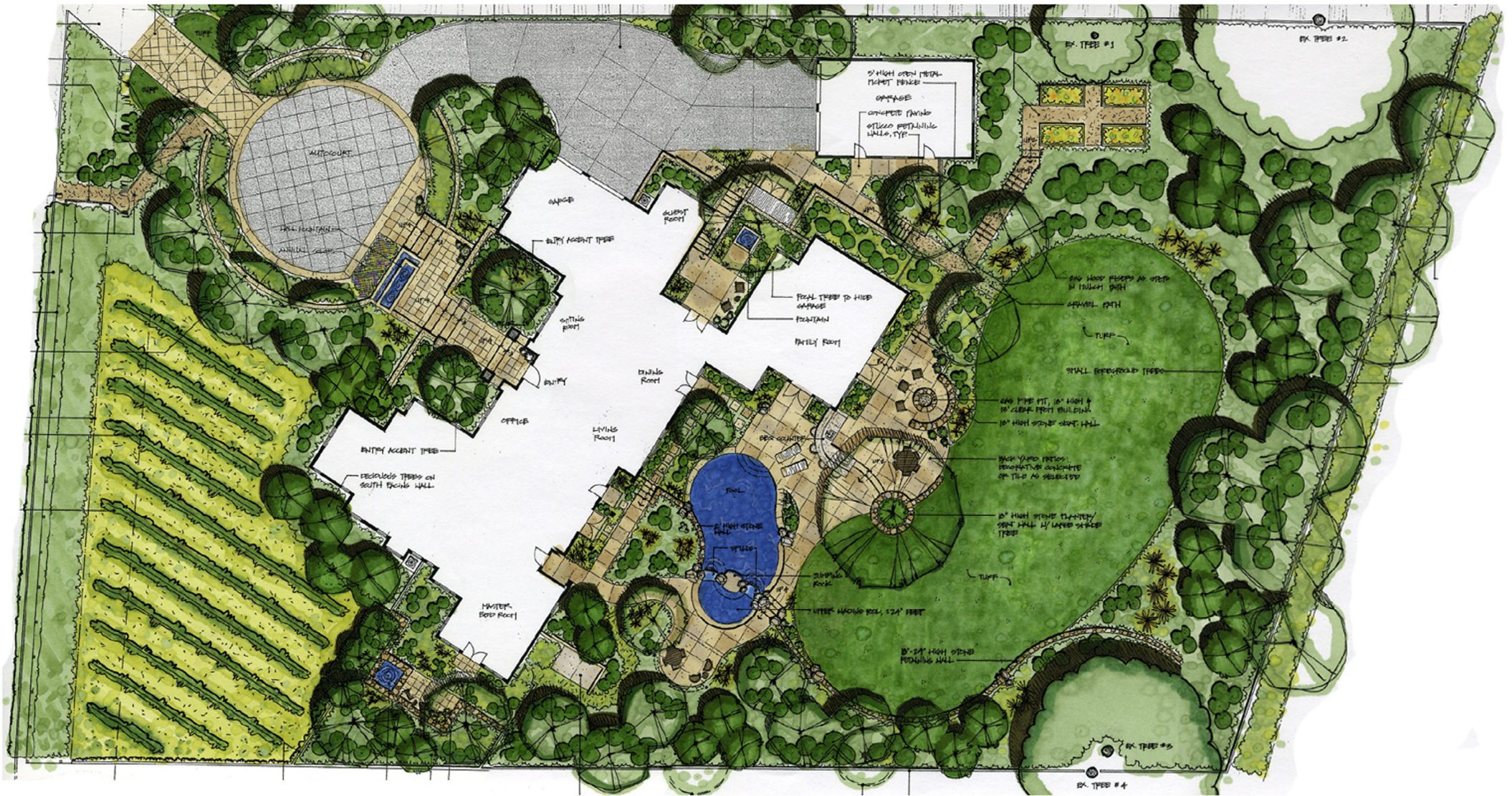
A two-tiered swimming pool is the focal point of the back yard. Nestled close to the house, the pool is bisected by a serpentine stone wall that begins at the house and winds through the landscape. The wall not only helps to level the back yard and allow for an expansive lawn but also helps to create a unique and functional pool. The upper pool is a shallow basin with a seat around nearly the entire perimeter that allows for young children and adults alike to relax in the calm waters. For the more adventurous, there is a jump rock into the larger, deeper pool below. The jump rock is flanked by a pair of waterfalls that are visible from the house and surrounding patios. The waterfalls not only offer another way to interact with the water but also provide pleasant sound for the back yard and house.

Adjacent to the pool area and family room is an outdoor kitchen with ample seating and prep space for entertaining crowds of all sizes. For the chilly nights, a nearby fire pit provides a respite from the cool air. With plenty of room to gather around, the fire pit becomes a core feature for get-togethers with family and friends. Adjacent to the fire pit is the expansive lawn that provides ample play space for the children and pets. The perimeter of the site is strategically planted to provide screening from utilities and neighboring homes across the street while allowing for and framing views of the nearby hills.

Finally, as a private refuge, a hidden garden was developed off the master bedroom suite complete with lush plantings, a lounging patio and a spa that doubles as a fountain when not in use. With spaces of all sizes and orientations, and uses, the landscape functions nearly year round and offers the family an entire series of living spaces outside their home for years of enjoyment.



















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